# **Proposed Alterations and Extension to Listed Building**

### **KEY INFORMATION**

Ward

West End

#### **Address**

Fernbrae 329 Perth Road

### **Applicant**

S1 west Development Ltd 26 Commercial Street Dundee

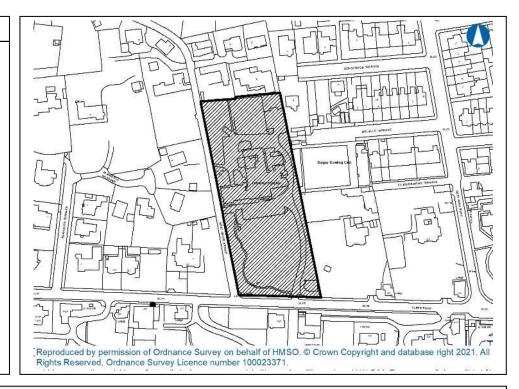
#### Agent

Patience and Highmore

Registered 18 August 2021

Report by Head of Planning & Economic Development

**Contact:** Claire Myles



## SUMMARY OF REPORT

- Listed Building consent is sought for alterations and extension to a category C Listed Building, Fernbrae House, lodge house, boundary wall and gatepiers. The main building is a 19<sup>th</sup> century 2-storey classically detailed ashlar villa set within extensive mature gardens with a lodge house located in the south-east corner of the site.
- The application site was last in use as a private hospital which closed in 2019. The proposal relates to a residential development involving a change of use, conversion and extension of the listed building to create 17 flats; 5 terraced houses in garden ground to the north and an extension to the Lodge House with associated parking and landscaping.
- The application satisfies the requirements of the relevant provisions of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and the Dundee Local Development Plan 2019.
- This application is to be determined by the Planning Committee as an associated planning application 21/00604/FULL is to be determined by the Planning Committee at the request of an elected member.
- More details can be found at: <a href="https://idoxwam.dundeecity.gov.uk/idoxpa-web/applicationDetails.do?keyVal=QXFDXJGCK4K00&activeTab=summary">https://idoxwam.dundeecity.gov.uk/idoxpa-web/applicationDetails.do?keyVal=QXFDXJGCK4K00&activeTab=summary</a>

## RECOMMENDATION

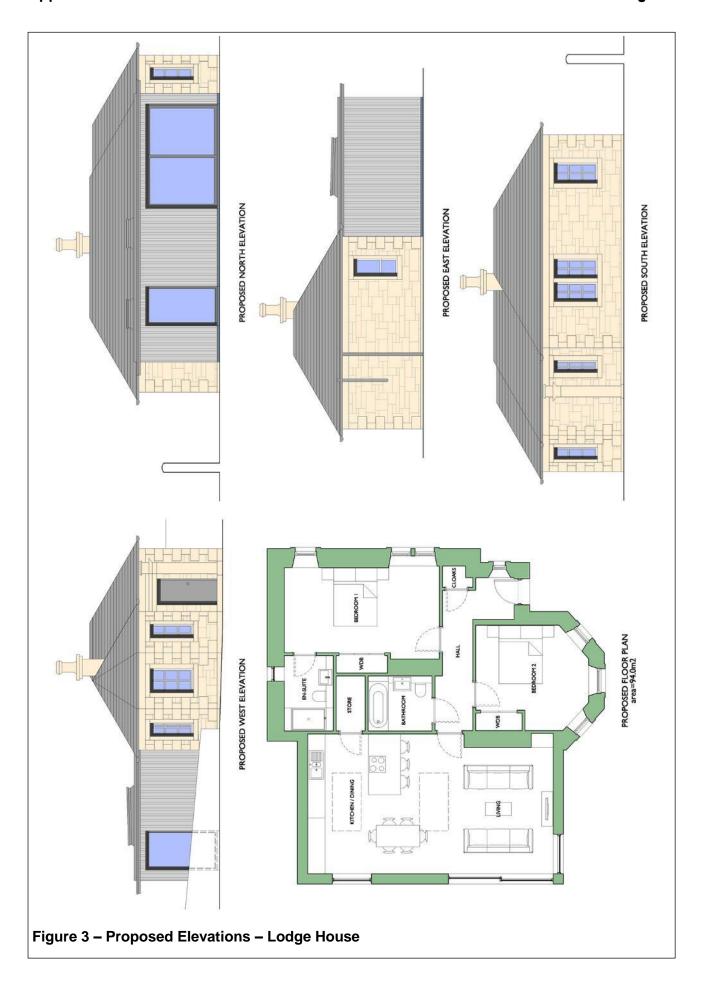
The proposal is in accordance with the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and also the requirements of the Dundee Local Development Plan 2019. There are no material considerations of sufficient weight to justify refusal of listed building consent. It is therefore recommended that listed building consent be GRANTED subject to conditions.

## 1 DESCRIPTION OF PROPOSAL

- 1.1 Listed Building consent is sought for alterations and an extension to a Category C listed building known as Fernbrae House. The listing description includes the main villa, lodge house, boundary walls and gate piers.
- 1.2 The application proposes the following external alterations to the villa removing the old extensions; constructing new 3 storey modern extensions on the east and west elevation; the roof is to removed of slate, repairs undertaken if required and a new roofing membrane installed; existing slates are to be dressed and reinstated and any new slates will be installed to the rear and side and will be approved for use on listed buildings; new timber sash and case double glazed windows; all existing cast iron rainwater goods are to be retained; repairs undertaken to mortar joints, window sills and lintels and chimney stacks. Internal alterations involve sensitively reconfiguring the space to ensure the main staircase is retained and all remaining feature elements of significance such as balustrading, cornicing and mouldings are to be protected.
- 1.3 In the south-east corner of the site a Lodge House is to be restored and extended to the rear (north) to create a 2 bedroom dwelling house. The single storey extension is to be finished in vertical larch cladding for the walls with a grey facing brick base course at ground level (the same material as proposed for the 5no new terraced mews houses); grey aluminium faced timber double glazed windows (as for the extensions to the main villa & the mews houses); and a grey metal flat roof (zinc or similar) which will match the metal wall cladding on the new extensions to the main villa.
- 1.4 The existing vehicular access to the site from Perth Road (south) is to be retained together with boundary walls and gate piers. The vehicular access on West Grove Avenue is to be closed to vehicles and a 1.8m high metal railing erected between the stone gate posts.
- 1.5 The application site was last in use as a private hospital and it has been extended and radically altered to accommodate this use. A residential development of 17 flats and 6 houses is proposed. The proposal seeks to reinstate the prominence of the main villa with a sympathetic and contemporary 3 storey extension on the east and west elevation. The flat roof extensions will be set back from the villa frontage and finished in high quality materials which includes stone and grey metal cladding to both refer to and complement the existing stone walled, slate roofed villa. A new courtyard style garden is to be created to the rear (north) of the main building.
- 1.6 Five mews style houses are proposed in garden ground to the rear (north) of the main villa and will be finished in slate roof, facing brick and larch cladding. All new houses are to have front and rear gardens and in curtilage parking. 38 car parking spaces are proposed in total within the site which includes 26 spaces for the flats and the proposed terraced houses and lodge house will have separate parking provision of 2 spaces per house (12 in total).
- 1.7 The mature landscaping to the front of the main villa is to be retained and maintained as an attractive setting for the listed building.
- 1.8 The applicant has submitted the following in support of the application:
  - Planning Statement;
  - Design and Access Statement; and
  - Conservation Statement.







## 2 SITE DESCRIPTION

- 2.1 The application site extends to 2.85 acres (1,1520m²) and comprises of a Category C Listed 2-storey classically detailed ashlar villa and a L-plan lodge house with piended slate roofs located in the south-east corner of the site, adjacent to the main access.
- 2.2 The site is located on the north side of Perth Road and the villa is secluded behind a high boundary wall and mature trees within extensive garden ground. The listing description includes the main villa, lodge house, boundary walls and gate piers.
- 2.3 Built in the 19th century as a dwelling house, the building was last in use as a private hospital and has been vacant since the hospital closed in May 2019. The listed building has been extended and radically altered to accommodate its medical use.
- 2.4 The topography of the site slopes up from Perth Road and the south facing villa is located on a flat plateau overlooking extensive landscaped grounds.
- 2.5 Existing vehicular access to the site is from Perth Road (south) and West Grove Avenue (west) and there is car parking in the site.
- 2.6 The surrounding area is largely residential with a mix of house types and styles including conversions of listed buildings to residential flats.



Figure 4 – Existing Main Villa - Front



Figure 5 – Existing Main Villa - Rear



Figure 6 – Lodge House

## 3 POLICY BACKGROUND

3.1 The following plans and policies are considered to be of direct relevance:

Scottish Planning Policy (2014) Historic Environment Policy for Scotland (2019)

West End Suburbs Conservation Area Appraisal

## **DUNDEE LOCAL DEVELOPMENT PLAN 2019**

Policy 49: Listed Buildings

3.2 There are no other plans, policies and non-statutory statements that are considered to be of direct relevance.

# 4 SITE HISTORY

- 4.1 20/00643/LBC for alterations and extension to a listed building and an associated planning application 20/00641/FULL for change of use and conversion from private hospital to 3 flats, demolish extensions and erection of 32 flats and extension to Lodge House was withdrawn.
- 4.2 A related planning application 21/00604/FULL has been submitted for a proposed residential development comprising a change of use and conversion of a listed building to form 4 flats; removal of extensions; new 3 storey extension of 13 flats; 5 terraced houses and alterations and extension to existing Lodge House

## 5 PUBLIC PARTICIPATION

- In line with the Planning (Listed Building Consent and Conservation Area Consent Procedure) (Scotland) Regulations 2015 the listed building application was advertised in the Edinburgh Gazette and the Dundee Evening Telegraph.
- 5.2 No comments received.

# **6 CONSULTATIONS**

6.1 **Historic Environment Scotland** – In line with the Planning (Listed Building Consent and Conservation Area Consent Procedure) (Scotland) Regulations 2015 there is no requirement to consult with Historic Environment Scotland as the works are to a Category C Listed Building.

# 7 DETERMINING ISSUES

## Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997

7.1 Section 14 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 requires that special regard shall be given to the desirability of preserving listed buildings or their setting or any features of special architectural interest which they possess.

- 7.2 The supporting documents highlight that the Category C listed building known as "Fernbrae House" will be retained, restored and sympathetically converted back to its original residential use.
- 7.3 The aim of the proposal is to minimise intervention to the listed features, remove the unsympathetic 20th century extensions and reinstate the prominence of the listed building and enhance its architectural integrity as part of a high quality modern flatted development.
- 7.4 Supporting documents, including a Conservation Statement, outline and justify the proposed alterations and extension to the listed building. The supporting documents highlight that the building has grown organically and encompassed a number of architecturally unsympathetic extensions. The result is a building that would prove extremely difficult to convert successfully into contemporary accommodation in an economically viable way.
- 7.5 The conversion of the villa into four well-proportioned flats has been sensitively considered to ensure the retention of the original staircase, one of its remaining features.
- 7.6 As well as the sympathetic conversion and extension to the villa, a modern extension of the lodge house is proposed to create a 2 bedroom house; the boundary wall and gate piers are to be retained as part of the proposed development and the existing vehicular access to West Grove Road is to be closed off and metal railings installed between the stone gate posts.
- 7.7 The proposed use, alterations and extension to the listed building are considered acceptable and the proposal has been carefully and sensitively considered to ensure minimum impact on the architectural and historic interest, character and setting of the building. The proposed development is of a high quality and the blend of old and new architecture offers a visually distinctive residential development which will secure the future of the listed building.
- 7.8 Should listed building consent be granted, it is recommended that full details and samples of all finishing materials and boundary treatments are submitted to the Council for written approval prior to the commencement of development in order to protect the character of the listed building.
- 7.9 It is concluded from the above assessment that by approving the application the Council would be discharging its statutory duties in an appropriate manner.

### MATERIAL CONSIDERATIONS

### A - LOCAL DEVELOPMENT PLAN

- 7.10 The provisions of the development plan relevant to the determination of this application are specified in the Policy Background section above.
- 7.11 The requirements of Policy 49 (Listed Buildings) of the Local Development Plan are satisfied by the discharge of the statutory duties outlined by Section 14 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997.
- 7.12 The proposal meets the requirements of the Dundee Local Development Plan 2019.

### **B - NATIONAL POLICY AND GUIDANCE**

7.13 Scottish Planning Policy (2014) and Historic Environment Policy for Scotland (2019) should be taken into account when determining applications for development which may affect the historic environment. Scottish Planning Policy (Valuing the Historic Environment) advises that the planning system should promote the care and protection of the historic environment and

its contribution to sense of place, including settings and the wider cultural landscape; development which will affect a listed building or its setting should be appropriate to the character and appearance of the building and its setting. The Historic Environment Policy for Scotland sets out principles and policies for the recognition, care and sustainable management of the historic environment. It seeks to influence decision making that will be sufficiently flexible and adaptable to deal with wide-ranging and ongoing changes to society and the environment, and to achieve the best possible outcome for the historic environment, maximising its benefits.

- 7.14 For the reasons set out in the assessment above, the proposed works would comply with national planning guidance concerned with the historic environment.
- 7.15 There are no material considerations that would justify refusal of listed building consent.
- 7.16 It is concluded that there are no material considerations of sufficient weight in this case to justify refusal of listed building consent.

## 8 CONCLUSION

8.1 The application for alterations and extension to a listed building is in accordance with the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and the Development Plan. There are no material considerations of sufficient weight that would justify refusal of listed building consent. Therefore, it is recommended that listed building consent be granted subject to conditions.

## 9 RECOMMENDATION

- 9.1 It is recommended that listed building consent be GRANTED subject to the following conditions:
  - Condition prior to the commencement of work on site, full details and samples of the proposed finishing materials of the development hereby approved shall be submitted to the Council for written approval. Thereafter, the proposed development shall be finished in strict accordance with the details approved by this condition. For the avoidance of doubt the details submitted should also include full details and the finishing materials for the bin and bike stores.
    - **Reason** to protect the character and appearance of the listed building.
  - Condition prior to the commencement of work on site, details of all the proposed boundary treatments and their location on the site shall be submitted to the Council for written approval. Thereafter, the erection of the boundary treatments shall be carried out in strict accordance with the details approved by this condition.
    - Reason to protect the character and appearance of the listed building.