

Proposed Removal of Railway Platform and Part Railway Embankment, Internal and External Alterations to Form 54 Flats and Associated Works

KEY INFORMATION

Ward Lochee

Address

55 Burnside Street

Applicant

Mr Anders Akermo
AG Akermo and Sons Ltd

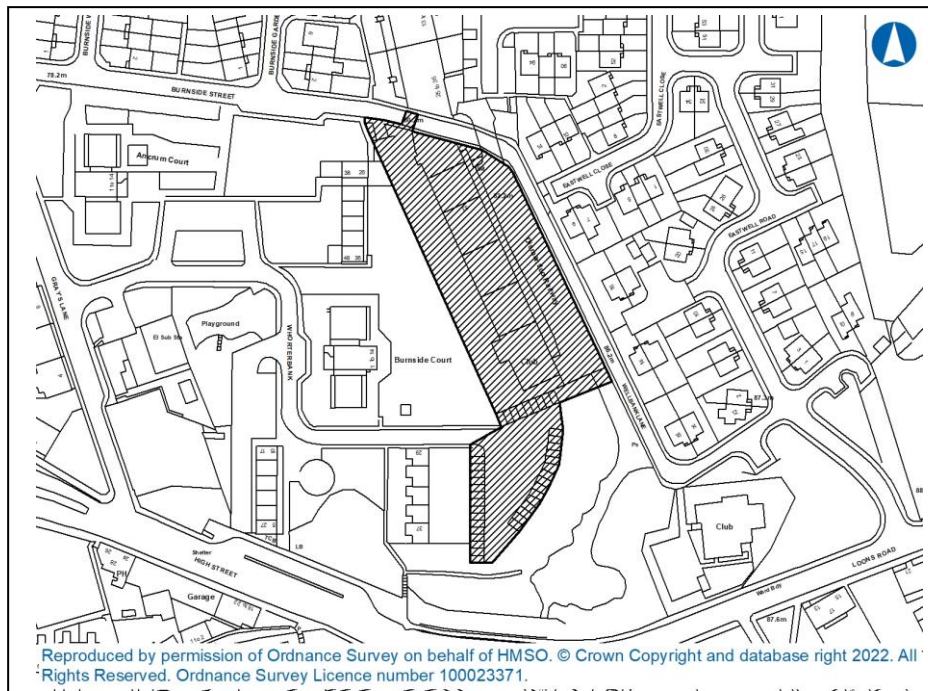
Agent

Gary Paterson
G Paterson Architect Ltd

Registered 9 Nov 2021

Report by Head of Planning &
Economic Development

Contact: Sharon Dorward



SUMMARY OF REPORT

- The application seeks listed building consent for the renovations associated with the conversion of a former mill to form 54 flats.
- The proposal necessitates the removal of the railway platform and part railway embankment.
- The application is in accordance with Section 14 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and the Development Plan.
- The statutory neighbour notification process was undertaken and the application advertised in the local press.
- In accordance with Dundee City Council's scheme of delegation, this application is to be determined by the Planning Committee as it accompanies a Major planning application.
- More details can be found at: <https://idoxwam.dundee.gov.uk/idoxpa-web/applicationDetails.do?activeTab=documents&keyVal=R2B2TNGCM7F00>.

RECOMMENDATION

The proposal would preserve the character of the listed building. There are no material considerations of sufficient weight to justify refusal of listed building consent. It is therefore recommended that listed building consent be **APPROVED** subject to a condition.

1 DESCRIPTION OF PROPOSAL

- 1.1 Listed building consent is sought for the physical alterations associated with the proposed conversion of a B listed former jute mill to create 54 flats.
- 1.2 The proposals would retain the original shell of the warehouse buildings, and a large proportion of the original external fabric; the roof line would remain unaltered. It is proposed to undertake repair and renovation of the existing stonework and stone skews, cast iron rainwater goods and the slate roof. Any repairs and renovation would be on a like for like basis to conservation standards. The proposal would result in the loss of the railway platform and majority of the embankment and would require the installation of internal floors and external access stairs and platts or balconies, and installation of windows in blind openings and dormer windows to the northernmost west elevation. The flats are proposed over three levels. Vehicular access to the site would be from Burnside Street to the north, with a pedestrian access to the south.

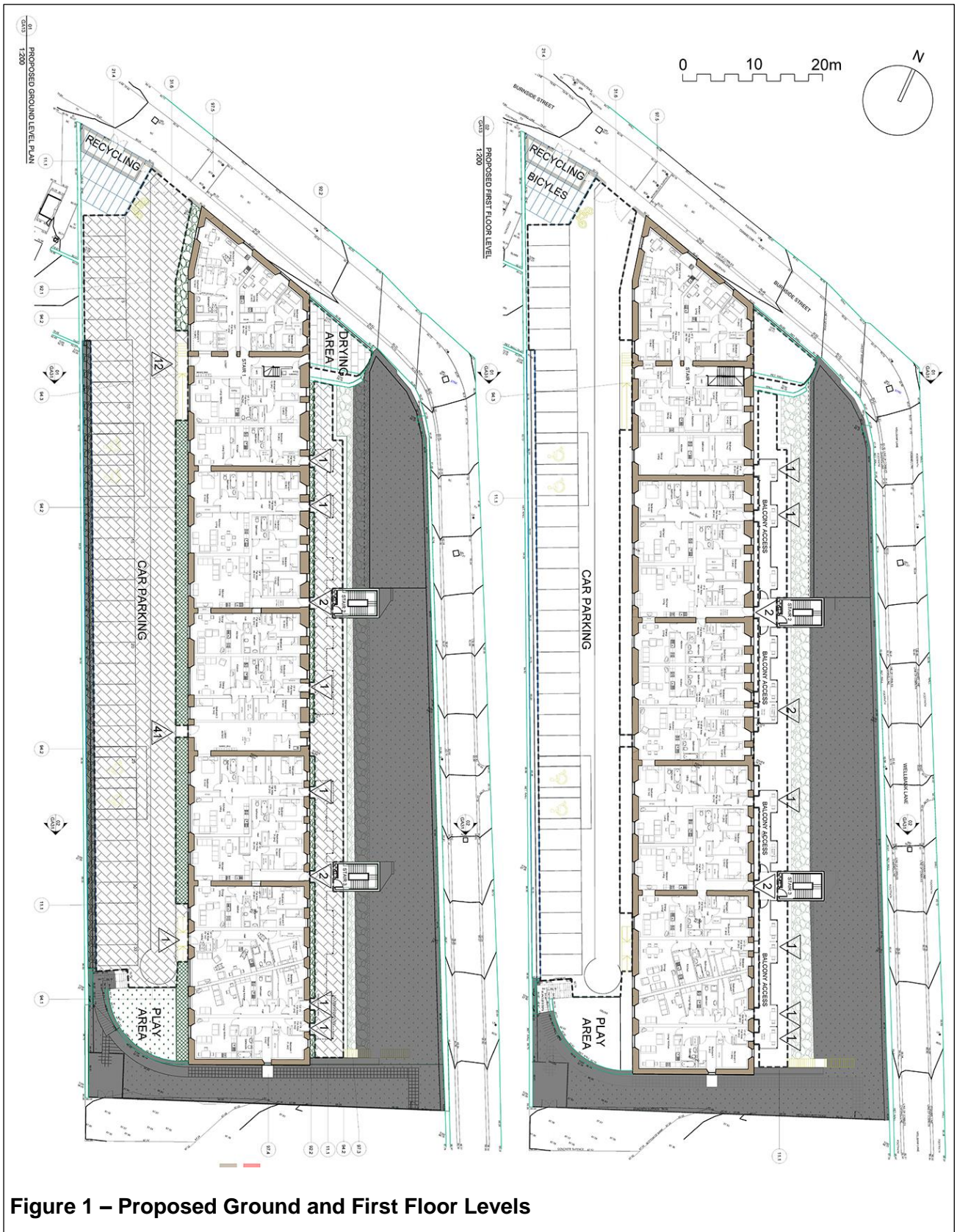


Figure 1 – Proposed Ground and First Floor Levels

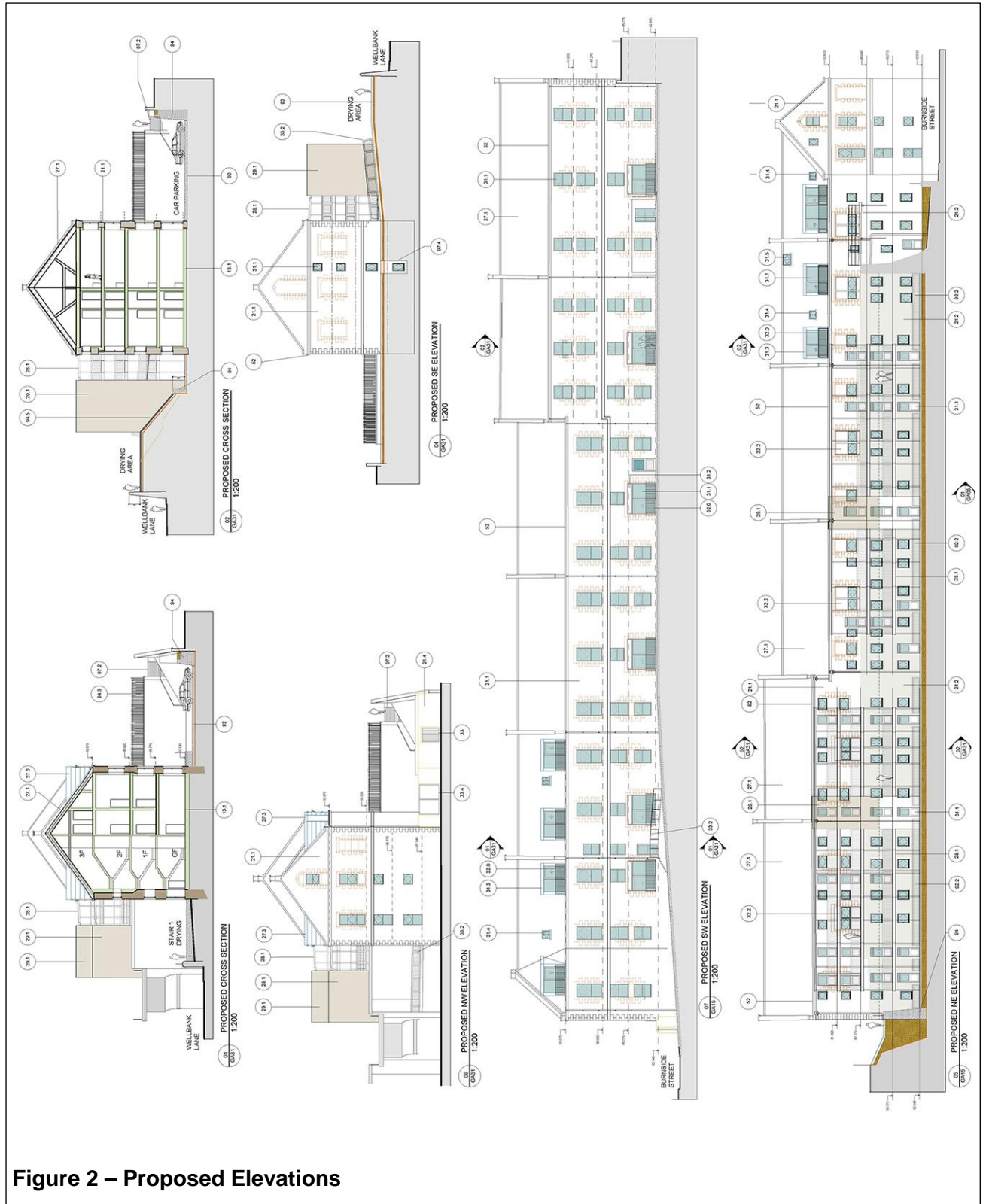


Figure 2 – Proposed Elevations

2 SITE DESCRIPTION

- 2.1 The application relates to Burnside Mill, which is Category B listed, established as former jute warehouses of 1873 and 1882 and originally part of the extensive Camperdown Works. The mill buildings are listed on the Buildings at Risk Register (BARR Ref 4539). The building is finished in sandstone and Scottish slate; it is currently in a state of disrepair and has been the subject of some vandalism.
- 2.2 The mill was built along the Camperdown Works railway line, there is an existing platform along most of the north east elevation which forms part of the curtilage listing, the former railway bridges Burnside Street to the immediate north of the site.
- 2.3 The building was briefly used as a sports social club from the late 1980s to the late 1990s, and contains the sport fit-out internally, but has been unused for around the last 20 years. The property has had various planning permissions for flatted accommodation, none of which have been implemented.
- 2.4 There are several trees to the south west boundary of the site. A bat roost has been identified within the mill building. The application site includes a section of ground within the Whorterbank community garden to the south of the site which is an existing hard standing. Surrounding land uses are mainly residential with commercial beyond, Lochee District centre is 200 metres to the west of the site.



Figure 3 – Aerial View from North



Figure 4 – Part East Elevation

3 POLICY BACKGROUND

3.1 The following plans and policies are considered to be of direct relevance:

TAYPlan 2016-2036

The application raises no issues of relevance.

DUNDEE LOCAL DEVELOPMENT PLAN 2019

Policy 49: Listed Buildings

SCOTTISH PLANNING POLICY, PLANNING ADVICE NOTICES AND CIRCULARS

Scottish Planning Policy (2014)

Historic Environment Policy for Scotland (2019)

3.2 There are no other plans, policies and non-statutory statements that are considered to be of direct relevance.

4 SITE HISTORY

- 4.1 Planning application 06/00090/FUL for the conversion of the mill to 38 flats was withdrawn in May 2006.
- 4.2 Listed building consent application 06/00091/LBC for the conversion of the mill to 38 flats was withdrawn in July 2006.
- 4.3 Listed building consent application 06/00761/LBC was approved in January 2007 for the conversion of the former sports hall to form 30 flats.
- 4.4 Planning application 06/00778/FUL was approved in December 2006 for the conversion of the former sports hall to form 30 flats.
- 4.5 Planning application 08/00247/FUL was approved in June 2008 for the conversion of the former mill / sports hall to 39 flats, parking and landscaping.
- 4.6 Listed Building Consent 08/00248/LBC was approved in July 2008 for the conversion of the former mill/sports hall to 39 flats, parking and landscaping.
- 4.7 Planning application 18/00179/FULL was approved in July 2018 for the conversion of the former jute mill to flatted accommodation with associated works.
- 4.8 Listed Building Consent 18/00178/LBC was approved in July 2018 for conversion of the former jute mill to flatted accommodation with associated works.
- 4.9 Proposal of Application Notice 20/00034/PAN was submitted in January 2020 for the conversion of the disused jute mill warehouse, formerly sports centre, into flats for Hillcrest Homes.
- 4.10 Planning application 21/00857/FULM is currently under consideration for the change of use of vacant warehouse building from former sports club to create 54 residential units and associated works, including proposed removal of railway platform and part railway embankment.

5 PUBLIC PARTICIPATION

- 5.1 The statutory neighbour notification procedure has been undertaken.
- 5.2 No letters of representation have been received.

6 CONSULTATIONS

- 6.1 **Historic Environment Scotland** – are supportive of the conversion of the Category B listed former jute warehouses. While it is acknowledged that the alterations proposed would have negative impacts in places, it is also recognised that the proposals provide an opportunity to secure the meaningful re-use of the listed building, which is currently on the Buildings at Risk Register, and its original form would largely be retained under the proposals.
- 6.2 The addition of new floors within the building would be accompanied by new window openings and the reduction in ground level to the east would also necessitate the removal of the former railway platform. This would change the appearance of the listed building and impact on our understanding of its original function. Historic Environment Scotland have observed that they previously accepted that a radical alteration of the building is an appropriate response to secure the future of the mill.

7 DETERMINING ISSUES

- 7.1 Section 14 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 requires that special regard shall be given to the desirability of preserving listed buildings or their setting or any features of special architectural interest which they possess.
- 7.2 The application relates to the category B Listed Burnside Mill which is currently on the Buildings at Risk Register. The vacant building and grounds have become the subject of vandalism and anti-social behaviour in more recent years.
- 7.3 It is proposed to restore the existing stone building, maintaining existing architectural features where possible and repairing with like for like materials. The most significant change required would be the removal of the railway platform and embankment, which would allow windows to the lower eastern elevation. It is proposed to re-use the materials from the railway platform and part railway embankment as part of adjacent community garden landscaping. The existing below ground stone walls would be rendered with off-white lime render, depending on their condition. There would also be a loss of historic fabric in relation to the insertion of windows, however the proposals would retain the original shell of the building and a large proportion of the external fabric. Repairs would be made with traditional masonry and lime mortar, as per Scottish Lime Centre recommendations and HES guidance. The main building roof would be taken down and the slate set aside and consolidated for reuse, any repairs would be with Scottish slate. The existing cast iron rainwater goods would be repaired and consolidated to match existing and finished in anthracite grey, in line with HES guidance.
- 7.4 The stone boundary walls to the site would be repaired, the existing boundary wall at entrance to the site would be carefully taken down and rebuilt reusing the existing stone on to allow for access.
- 7.5 Similar alterations have already been undertaken at the neighbouring mill building to the north, where the railway embankment has been removed to allow a windowed elevation to the east.

The renovations and repairs are considered to be necessary and appropriate for the conversion of the building in order to secure its future use. A condition is proposed to seek further details for finishing and repair materials to ensure that these would be appropriate.

- 7.6 The proposal would therefore preserve the Listed Building and the statutory duty set out in Section 14 of the Act would be satisfied.

MATERIAL CONSIDERATIONS

- 7.7 The material considerations to be taken into account are as follows:

A - DUNDEE LOCAL DEVELOPMENT PLAN 2019

- 7.8 **Policy 49: Listed Buildings** - of relevance to this application is part b) of this policy which relates to alterations to listed buildings. The policy states that alterations to a listed building will only be acceptable where the proposals have regard to the preservation or enhancement of the building or its setting or any features of special architectural or historic interest which it possesses. Alterations will not be permitted where the works would diminish the architectural integrity of the building or its historic interest.
- 7.9 The listed building consent application is for the renovation of an existing mill building which is currently in a state of disrepair, the area has been subject to vandalism and anti-social behaviour. The mill is Category B listed and is also on the Buildings at Risk Register.
- 7.10 The building shell appears to be in sound structural condition except for the roof of the two north most warehouses and is wholly constructed from local sandstone with Scottish slate. Externally, there are several interesting architectural details remaining, such as stone cills and lintels which frame the original 'blind' windows, stone quoins and string courses to all elevations, cast iron rainwater goods that punctuate the length of the building and are more ornate and recessed into the wall along the length of the railway platform. The rainwater goods have failed in several places which has resulted in rainwater staining, vegetation growth and masonry decay in places. There are some local areas of brickwork which have been introduced where larger openings were reduced in size. The existing openings are boarded off or bricked up to prevent illegal entry. Engineering brick has also been used to form the railway platform.
- 7.11 The most significant change required would be the removal of the railway platform and embankment, to allow windows to the lower eastern elevation. While the loss of the platform removes the evidence of the link with the railway, it is required to allow daylight to the ground floor and ensure that the project is financially viable. It is proposed to leave as much of the railway embankment structure as possible and for material confirmed to be non-contaminated to be used as part of landscaping works at the adjacent community garden. It is assumed that the condition of the warehouse stonework facing into the terraced garden will not be of good visual quality, however this will only be known once the wall is exposed. Should it be required it is proposed to finish this wall an off-white lime-rich render. This change has already been undertaken at the neighbouring mill building, where the railway embankment has been removed to allow a windowed elevation to the east.
- 7.12 Repairs to the building would be undertaken with traditional masonry and lime mortar as per Scottish Lime Centre recommendations and HES guidance. The main building roof would be taken down and the slate set aside and consolidated for reuse, any repairs would be with Scottish slate. The existing cast iron rainwater goods would be repaired and consolidated to match existing and finished in anthracite grey, all to HES recommendations. The existing stone boundary walls to the site would also be repaired.

- 7.13 Internally, the stonework (where exposed) appears sound as does most of the roof structure which is formed in large section timber trusses and purlins. The sports club fit out with squash courts, changing areas, dance hall and bar remain largely intact albeit severely vandalized from anti social behaviour during the recent the disused phase. Given the present condition of the building, the proposed re-use is an appropriate alternative use following a scheme of repair and alteration. A palette of traditional finishes is proposed, with traditional mortar and methods of repair. A condition is recommended to secure full details and samples of all finishing materials and materials for repair are provided to ensure that these would be appropriate.
- 7.14 **With the addition of a planning condition, the proposal would be in accordance with Policy 49 and with the Dundee Local Development Plan 2019.**

B - NATIONAL POLICY AND GUIDANCE

- 7.15 Scottish Planning Policy (2014) and Historic Environment Policy for Scotland (2019) should be taken into account when determining applications for development which may affect the historic environment. Scottish Planning Policy (Valuing the Historic Environment) advises that the planning system should promote the care and protection of the historic environment and its contribution to sense of place, including settings and the wider cultural landscape; development which will affect a listed building or its setting should be appropriate to the character and appearance of the building and its setting. The Historic Environment Policy for Scotland sets out principles and policies for the recognition, care and sustainable management of the historic environment. It seeks to influence decision making that will be sufficiently flexible and adaptable to deal with wide-ranging and ongoing changes to society and the environment, and to achieve the best possible outcome for the historic environment, maximising its benefits.
- 7.16 It is concluded for the reasons set out above that the proposed works would comply with national planning guidance concerned with the historic environment, including the policies within the Historic Environment Policy for Scotland.
- 7.17 **It is concluded that there are no material considerations of sufficient weight in this case to justify refusal of listed building consent.**

8 CONCLUSION

- 8.1 The reasoning behind the decision to grant this application has been outlined in this report and is reflected in the terms of the decision arrived at on behalf of the Council. In summary, the application has been recommended for approval because the proposed works would not diminish the architectural integrity of the building in accordance with Section 14 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997, relevant policies of the Dundee Local Development Plan (2019) and National Planning Guidance for development affecting listed buildings.

9 RECOMMENDATION

- 9.1 It is recommended that planning permission be GRANTED subject to the following conditions:
- 1 **Condition** - prior to the commencement of any work on site, details and samples of the proposed finishing materials of the development hereby approved shall be submitted to

the Council for written approval. Thereafter, the proposed development shall be finished in strict accordance with the approved details.

Reason - in the interests of visual amenity, to protect the listed building and to ensure a high-quality residential development.