

House Extension at Invergowrie Drive

KEY INFORMATION

Ward West End

Address

28 Invergowrie Drive
Dundee
DD2 1RF

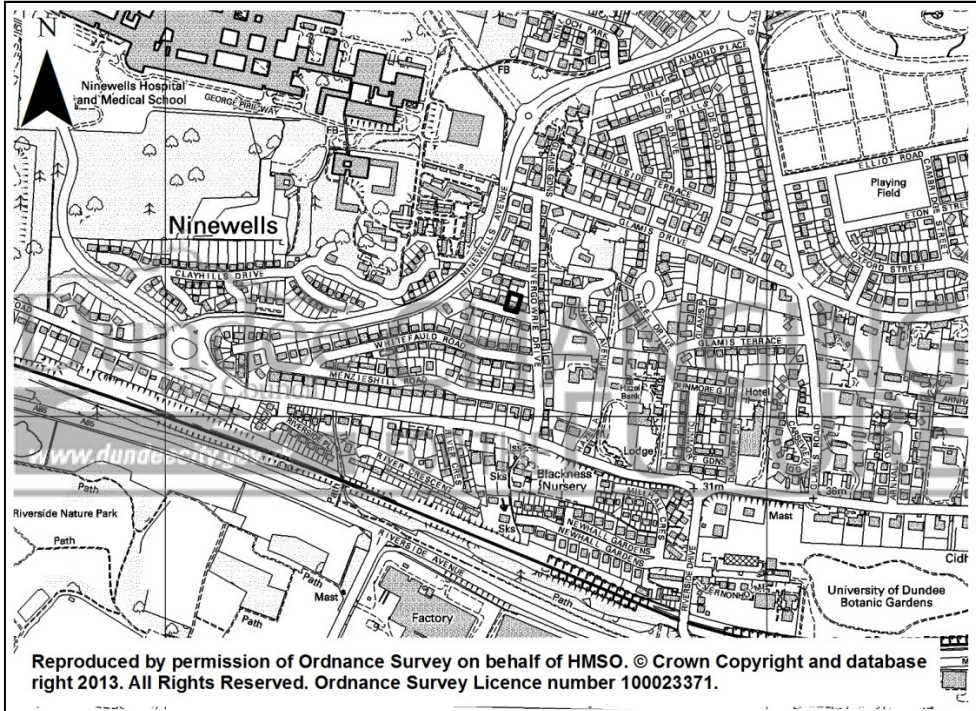
Applicant

Mr Neil Scrimgeour
28 Invergowrie Drive
Dundee
DD2 1RF

Agent

Registered 31 Oct 2013

Case Officer B Knox



SUMMARY OF REPORT

- Planning permission is sought for the erection of a single storey extension to the side and rear of a detached dwelling.
- Permission was granted in 2007 for a similar extension and other alterations to the property. The applicant commenced construction of the approved extension but it was built 1.2 metres longer than the above approval.
- The current application seeks permission for the size of the extension as has been built. The plans confirm that the extension measures 1.2 metres longer than the original approvals.
- The works are considered to be in accordance with Policy 10 (Householder Development) of the Dundee Development Plan 2014.
- The views of the objectors are not supported in this instance as both the visual and physical impact of the extension is considered to be limited.

RECOMMENDATION

The application is in accordance with Policy 10 of the Dundee Development Plan. There are no material considerations, including the views of the objectors to justify a recommendation for refusal contrary to this. The application is therefore recommended for **APPROVAL** subject to conditions.

1 DESCRIPTION OF PROPOSAL

- 1.1 The application seeks planning permission for the erection of an extension to the east and north of the existing dwelling. As part of these works, there will also be some alterations to the existing roof to allow the extension to tie in and provide roof lights within the attic level.
- 1.2 Planning permission was granted in 2007 for an almost identical extension and other alterations but the extension element of the approved scheme was built 1.2 metres longer than the approvals. Therefore, the applicant is seeking permission for the above extension works on a retrospective basis.

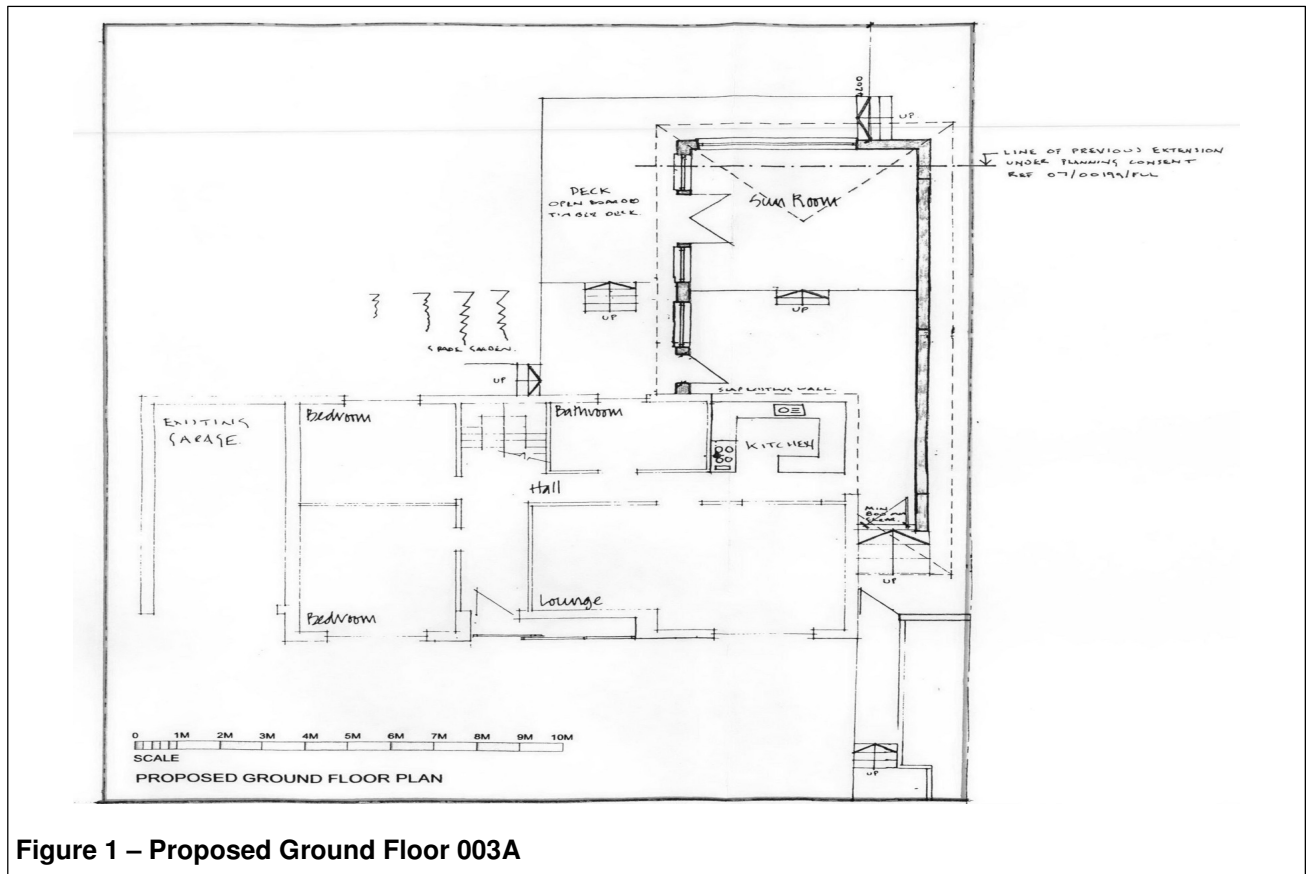


Figure 1 – Proposed Ground Floor 003A

- 1.3 The current proposals seek permission for a sunroom and living space situated to the rear of the original property. There would be an entrance door to the front of the extension which would be situated to the east of the main property. Glazing is to be confined to the north and west elevations of the extension with 2 rooflights in the west elevation of the new roof.
- 1.4 The extension is largely complete and the roof has been finished in red roof tiles to match the existing main building. The wall exterior finish had not been completed at the time of submission of the application but the applicant has indicated that it is intended to finish the walls in smooth render.
- 1.5 Additionally, the current application seeks permission for a decked area within the rear garden adjacent to the extension. It would be largely situated to the west of the extension within the rear garden area and is to be of a level in keeping with the existing land levels. Therefore, it would measure 0.55 metres at its highest level with a step up from the garden at its lowest level.

2 SITE DESCRIPTION

2.1 The application property is a detached bungalow type dwelling located on the north side of Invergowrie Drive. The surrounding area is comprised of detached and semi detached dwellings set within relatively large plots. The property has garden ground to the front of the property which is open to view and slopes down to street level and further garden ground to the rear which is fairly private although windows of nearby properties can be seen.

2.2 To the east boundary, there is an existing wall with fence on top which provides screening to the level of the eaves on the extension which is to a level of approximately 2.8 metres.

2.3 The properties to the rear (north) sit at a higher ground level than the application property and are screened by existing vegetation.

2.4 As the application is retrospective, the extension has been built and is in situ. The wall finishing's have not been completed and it appears as though there are some finishing's and minor details to be carried out in order to complete the build.

2.5 The properties on the north side of Invergowrie Drive sit within an established building line.

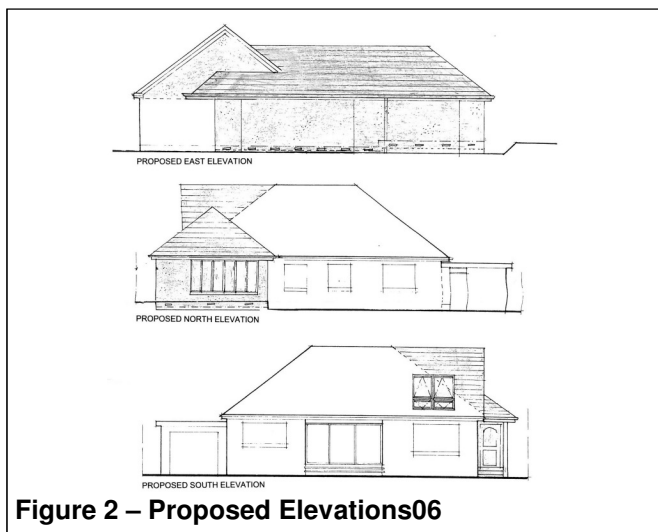


Figure 2 – Proposed Elevations06

3 POLICY BACKGROUND

3.1 The following plans and policies are considered to be of direct relevance:

PROPOSED DUNDEE LOCAL DEVELOPMENT PLAN

Policy 10: Householder Development

3.2 There are no other plans, policies and non-statutory statements that are considered to be of direct relevance.

4 SITE HISTORY

4.1 An application for planning permission for the application site was submitted in 2007 (07/00199/FUL refers). The proposal sought permission for the erection of a kitchen/sun room extension to the rear (north) of the property with an entrance to the east of the original dwelling and a porch to the front of the property. Included in the scheme was also the conversion and creation of attic space to provide three bedrooms at the upper level.

4.2 The application was reported to the Committee with a recommendation for approval. This was agreed by Members at the Committee on 4 June 2007.

- 4.3 In 2009 upon commencement of works on site in relation to the extension to the rear, an adjacent resident complained that the proposals were not being built in accordance with the approved plans. Full measurements of the under-construction extension were taken at that time by the Council and the extension was found to be being built in accordance with the approvals.
- 4.4 In 2013 further concerns were raised regarding the ongoing build of the extension in relation to its length as the works neared completion. Site visits confirmed that the extension had been built 1.2 metres longer than the approvals under the above 2007 planning application. The applicant has now submitted the current application to regularise this situation and the plans confirm that permission is sought for a rear extension 1.2 metres longer than the above 2007 approval. As part of the current application drawings and to offer clarity on the situation, the applicant has provided a floor plan with both the previous extent and proposed extent of the extension marked.

5 PUBLIC PARTICIPATION

- 5.1 The application was the subject of statutory neighbour notification and in response 3 objections were received from neighbouring occupiers. The following valid material planning considerations were raised:
- contrary to Planning brief;
 - detrimental to residential amenity;
 - loss of light to back rooms of property affecting quality of life;
 - shadowing effect of the extension;
 - the extension as built utilises more than 50% of the garden amenity;
 - the extension is not being constructed to any approved plans or plans pending consideration;
 - the wall length of the east elevation is increased by 1.2 metres when compared with the 2007 plans. This brings the mass of the building closer to the boundary with the objectors property to the north, increasing the oppressive nature of the structure viewed from their garden;
 - the excavations needed to accommodate the larger extension have destabilised the ground around the properties;
 - the proposed design shows an increase in the roof line of around 50% and impacting the skyline and exacerbating the oppressive nature of the building; and
 - the extension is out of character with the existing dwellings in the area and is far too big with nothing to break up the expanse of the wall.
- 5.2 The above concerns shall be discussed in the Material Considerations section of the Report below.

6 CONSULTATIONS

- 6.1 There were no consultations in relation to this application.

7 DETERMINING ISSUES

- 7.1 **Section 25 of the Act provides that an application for planning permission (other than for a national development) shall be determined in accordance with the development plan unless material considerations indicate otherwise.**

THE DEVELOPMENT PLAN

The provisions of the development plan relevant to the determination of this application are specified in the Policy Background section above.



Figure 3 – Site Photo (West Elevation)



Figure 4 – Site Photo (East Elevation From Neighbouring Garden)

DUNDEE LOCAL PLAN REVIEW 2005

- 7.2 **Policy 10: Householder Development** – the above policy recognises that there will be a requirement to allow for the adaptation and extension of existing houses to meet the changing needs and demands of residents. The policy advises that householder development will be supported where the 4 criteria as discussed below can be met.
- 7.3 Where Development Does Not Have A Detrimental Impact On The Character Or Environmental Quality of The House And Surrounding Area By Virtue Of Size, Design And Materials - it is acknowledged that the roof alterations to provide attic accommodation have changed the existing appearance of the dwelling by virtue of the fact that the hipped roof has been altered to that of a gabled design at the east side of the roof. In terms of openings to the roof, the current proposals are restricted to a pair of roof lights to the front elevation of the main dwelling and a pair of roof lights to the west facing elevation of the extension.
- 7.4 This is an area where many of the properties have been altered or extended in the past and there is therefore no established design for the dwellings in the vicinity. A large number of dwellings are finished with dry dash and red tiled roof coverings. The proposals are therefore considered to be in keeping with the general appearance and style of residential properties in the vicinity of the application site.

- 7.5 It is considered that the impact of the proposals has a neutral effect upon the character and appearance of the property. The extension is largely to the north of the property but wraps around the east of the property to provide the entrance door. It is considered to be of a fairly large foot print but due to its location largely to the rear of the plot, it appears unobtrusive when viewed from the street. This is also the case because the extension sits behind the established building line of the dwellings fronting the street.
- 7.6 It is therefore considered that the extension is acceptable in terms of size, design and materials and that the proposal complies with criterion (1) of Policy 10.
- 7.7 Where Development Does Not Result in a Significant Loss of Private/Useable Garden Ground - the dwelling is set within a large plot and will retain an ample garden area sufficient for this type and size of dwelling. It is considered that the proposal complies with criterion (2) of Policy 10.
- 7.8 Where Development Does Not Have a Detrimental Affect On The Neighbouring Properties In Terms Of Physical Impact, Overshadowing Or Overlooking - the location of the extension close to the mutual boundary means that there will be some affect upon the adjacent occupier in terms of sunlight.
- 7.9 The adjacent garden ground to the east sits at a higher ground level than that of the land where the extension is situated. This has the effect that the existing boundary screening fencing reaches the underside of the eaves at the most northerly point of the extension, but slopes downwards towards the south of the extension, exposing more of the wall of the extension when viewed from the neighbouring garden. Therefore, a large part of the extension is screened from the adjacent occupier by the existing boundary fencing. The presence of this fencing also means that any additional impact in terms of sunlight/daylight is restricted to the parts of the extension visible above the line of the existing fence. It is considered that any impacts in this regard will be of a minimal scale due to the fact that the majority of the additional extension is situated behind the fencing, exposing only the slope of the roof for a significant length of the extension.
- 7.10 The gardens to the north are situated at a higher ground level and are of a significant distance away such as to ensure there would be no detrimental impact in terms of overshadowing. Due to the location at the north and east of the existing dwelling, there are no other properties that will be affected in relation to the potential for overshadowing.
- 7.11 It is therefore concluded that the extension would have a minimal effect on the neighbouring properties in this regard.
- 7.12 In terms of overlooking, the windows to the extension contained on the ground floor face west and north into the private garden of the application property and it is considered that the existing screening in place and distances to the properties to the west and north will ensure that they will not be detrimental to the neighbouring properties in relation to overlooking. It is proposed that there would be attic space to the upper levels only at this time and therefore there is no potential for overlooking as a result of the roof lights. In any case, the roof lights to the front elevation are located over 20 metres from the properties on the south side of Invergowrie Drive and the roof lights contained on the rear extension facing west are of a sufficient distance and position away from the adjacent property such as to have a minimal impact in relation to the potential for overlooking.
- 7.13 Where The Development Does Not Have A Significant Adverse Affect On The Existing Level Of Car Parking Provision - The proposed extension is largely to the rear of the plot and therefore has no impact upon the existing car parking provision associated with the property. There are therefore no issues in this regard.

- 7.14 **The proposal satisfies Policy 10.**
- 7.15 **It is concluded from the foregoing that the proposal complies with the provisions of the Development Plan.**

OTHER MATERIAL CONSIDERATIONS

A VIEWS OF OBJECTORS

The views of the objectors are:

- 7.16 **Contrary to Planning Brief** - there is no relevant planning brief for the site.
- 7.17 **Detrimental to Residential Amenity** - the issue of residential amenity has been discussed in relation to Policy 10 of the Dundee Local Development Plan where it was concluded that any impacts in terms of overshadowing and overlooking are of a minimal scale such as to ensure there would be no significant impact upon the neighbouring properties, including the property of the objector.
- 7.18 **Loss of Light to Back Rooms of Property Affecting Quality of Life and Shadowing Effect of the Extension** – the property of the objector in this regard has been previously extended to the rear which means that morning sunlight is restricted into the rear of the property. The plans associated with the approval for the objectors extension (10/00567/FULL refers) indicate that the rear rooms with the potential to be affected by the current proposals at 28 Invergowrie Drive relate to the kitchen at the rear (north) and bathroom to the side (west). Such rooms are not considered to be habitable rooms and therefore the provision of sunlight into such rooms is not judged to be as crucial to the quality of life as other rooms.
- 7.19 In addition, the rear facing windows of the objector's property are positioned on the north elevation and as such will always be restricted in the provision of sunlight. It is considered that the extension has no significant impact upon the provision of sunlight for the above reasons.
- 7.20 **The Extension as Built Utilises More than 50% of the Garden Amenity** - the remaining garden ground has been considered in accordance with Policy 10 of the Dundee Development Plan. It is considered that the extension does not result in a significant loss of private garden ground and there is more than 50% of the rear garden remaining.
- 7.21 **The Extension is Not Being Constructed to any Approved Plans or Plans Pending Consideration** - the plans submitted for consideration under the terms of the current planning application are considered to reflect what has been built on site. Measurements of the extension were taken in situ which have confirmed this to be the case. In order to further clarify the position, the applicant has provided a floor plan showing the extension as built with the extent of the previous approved scheme marked on (see Figure 1).
- 7.22 **The Wall Length Of The East Elevation – Has Increased By 1.2 Metres When Compared With The 2007 Plans. This Brings The Mass Of The Building Closer To The Boundary With The Objectors Property To The North, Increasing The Oppressive Nature Of The Structure Viewed From Their Garden** – the increase in length of the longest part of the extension is indeed 1.2 metres in comparison to the 2007 plans. It is considered that the impact of the extension upon the properties to the north is not significantly altered by the additional 1.2 metres in length since it is a relatively small distance and it will be largely screened from view due to the existing boundary enclosures on site. In addition, it is built at a lower ground level than the neighbouring properties to the

north and as such is less obtrusive than had it sat at a similar ground level as to the properties to the north of the site.

- 7.23 **The Excavations Needed to Accommodate the Larger Extension Have Destabilised the Ground Around the Properties** - it is considered that the extension is located a sufficient distance away from the nearest properties such as to raise destabilisation issues.
- 7.24 **The Proposed Design Shows an Increase in the Roofline of Around 50%, Impacting the Skyline and Exacerbating the Oppressive Nature of the Building**
The Extension is Out of Character with the Existing Dwellings in the Area
Far Too Big With Nothing to Break Up The Expanse of the Wall - as the extension runs from north to south, there is only a small proportion of the newly built area visible from the street. There is an extremely limited impact upon the character and appearance of the surrounding area due to this. In addition, as discussed in relation to the Development Plan, there is a mixture of house types and style in the surrounding area with a large proportion having been altered in some manner in the past such as to mean that although there is a general feel to the area, there is a mixture of styles, sizes and layouts with the surrounding dwellings. The length of the wall runs close to a mutual boundary which is delineated by boundary walling and fencing. Therefore there are no concerns with the appearance of the wall which is almost completely hidden from view.
- 7.25 Taking the above into consideration, the above views of the objectors are not supported.

B PREVIOUS APPROVAL 07/00199/FUL

- 7.26 Planning permission was granted in 2007 for an extension and other works (07/00199/FUL refers). The proposal sought permission for the erection of a kitchen/sun room extension to the rear (north) of the property with an entrance to the east of the original dwelling and a porch to the front of the property. Included in the scheme was also the conversion and creation of attic space to provide three bedrooms at the upper level.
- 7.27 The current proposals seek permission for a rear and side extension in the same location but measuring 1.2 metres longer in total length, meaning that it extends 1.2 metres further into the rear garden ground area than the original approvals.
- 7.28 Therefore, any increase in impact from the approved proposals is limited to the additional 1.2 metres of extension. It is noted that the additional area of build is largely screened from the adjacent property to the east by the presence of an existing boundary fence and wall. In addition to this, it is noted that the existing boundary screening extends to the eaves of the additional area of extension. Therefore, any impacts in relation to sunlight and daylight as a result of the additional 1.2 metres are considered to be of an extremely limited level.
- 7.29 Furthermore, it is considered that there is also a limited impact upon properties to the north due to fact that the extension sits at a lower ground level than those properties and that there is existing boundary screening. These factors mean that the impact of the additional 1.2 metres of extension is limited in scale and nature.
- 7.30 **It is concluded from the foregoing that the material considerations support the approval of planning permission.**

8 CONCLUSION

- 8.1 The proposal complies with the Development Plan and there are no material considerations that would justify the refusal of planning permission. Therefore, it is recommended that planning permission be granted.

9 RECOMMENDATION

- 9.1 It is recommended that consent be GRANTED subject to a condition:
- 1 The exterior wall finish specified on the hereby approved drawings shall be completed within 6 months of the date of this permission.

REASONS

- 1 In order to protect the appearance of the property and the surrounding area.