

Alterations to Dwellinghouse

KEY INFORMATION

Ward The Ferry

Address

1 Fairfield Road
Broughty Ferry, Dundee

Applicant

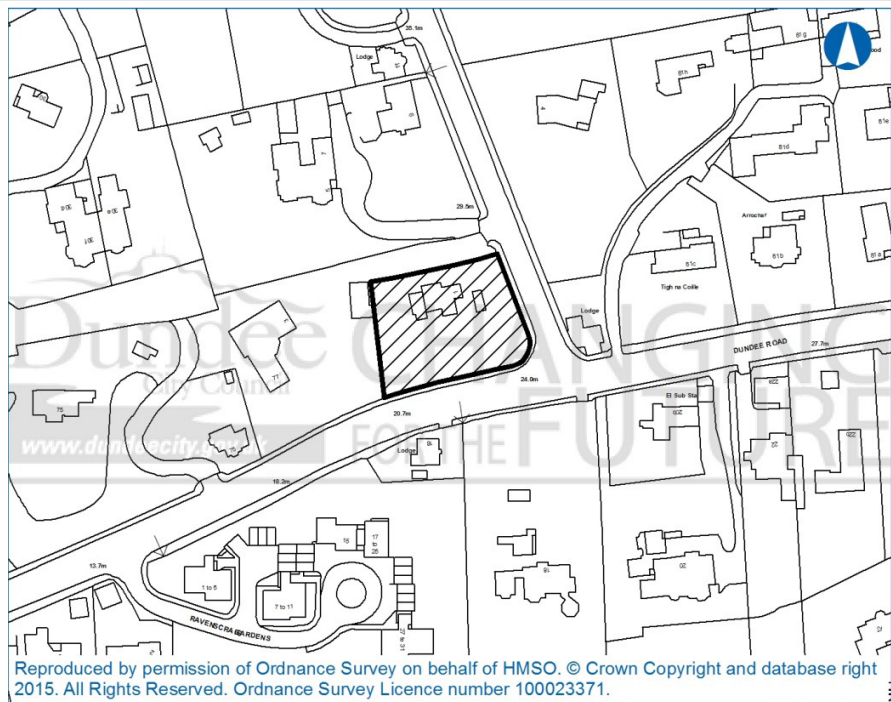
Mr Ron Smith
1 Fairfield Road
Broughty Ferry, Dundee

Agent

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Pask Architects
The Tanks
Reservoir Road
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Fife DD6 8PB

Registered 21 May 2015

Case Officer S Johnson



SUMMARY OF REPORT

- This application seeks planning permission for the alterations and extension of the existing dwelling on the north and east, replacement windows, removal of the existing garage and erection of a new triple garage and to widen the existing driveway entrance gate posts.
- The statutory neighbour notification was carried out and one letter of representation has been received from Broughty Ferry Community Council regarding the proposed works.
- More details can be found at <http://idoxwam.dundee.gov.uk/idoxpa-web/applicationDetails.do?activeTab=documents&keyVal=NOOWXJGCH1Q00>.

RECOMMENDATION

The proposed alterations and extension are considered to preserve the character and appearance of the West Ferry Conservation Area. The proposal therefore satisfies the statutory requirements of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 as well as complying with the relevant policies of the Dundee Local Development Plan 2014. There are no material considerations that would support refusal of this planning application. The application is therefore recommended for **APPROVAL** subject to conditions.

1 DESCRIPTION OF PROPOSAL

1.1 Planning permission is sought for alterations and extension of the existing dwelling on the north and east elevations, replacement windows, removal of the existing garage and erection of a new triple garage and to widen the existing driveway entrance gate posts.

1.2 Internally, on the ground floor some walls will be removed to create an open plan floor plan.

1.3 The single storey extension to the north elevation will provide a larger kitchen with separate utility room and a downstairs bathroom.

1.4 The two storey extension to the east elevation will provide a new en suite guest bedroom on the ground floor. It is proposed to remove the existing roof and provide a new first floor extension which will provide a master bedroom on the first floor.

1.5 The proposed single storey extension to the north elevation will be finished in coursed fair stone with a sarnafil grey flat roof.

1.6 The extension to the east elevation will be finished in wet dash render to match the existing, timber framed double glazed windows, cast iron rainwater goods and natural slate on the pitched roof to match the existing house.

1.7 All windows are to be replaced with new timber framed double glazed units.

1.8 The existing dormer on the north elevation will be extended to the wall heads and clad with vertical natural slate to match the existing.

1.9 The proposed triple garage will be situated to the east of the dwelling in a similar location as the existing garage.

1.10 The proposed garage is to be finished in welsch slate to match the existing house. The structure will have wet dash rendered block walls. In curtilage parking will remain for four cars.

1.11 It is proposed to move the existing southern gate post to create an opening 3.6m wide and install electronic gates.

1.12 In accordance with the Council's Scheme of Delegation this application is being reported to the Development Management Committee as an objection has been received from Broughty Ferry Community Council.

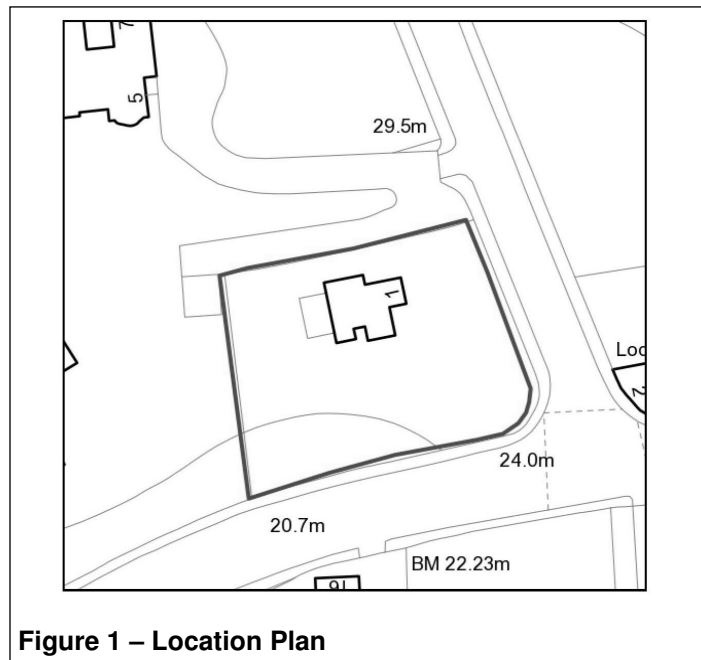


Figure 1 – Location Plan

2 SITE DESCRIPTION

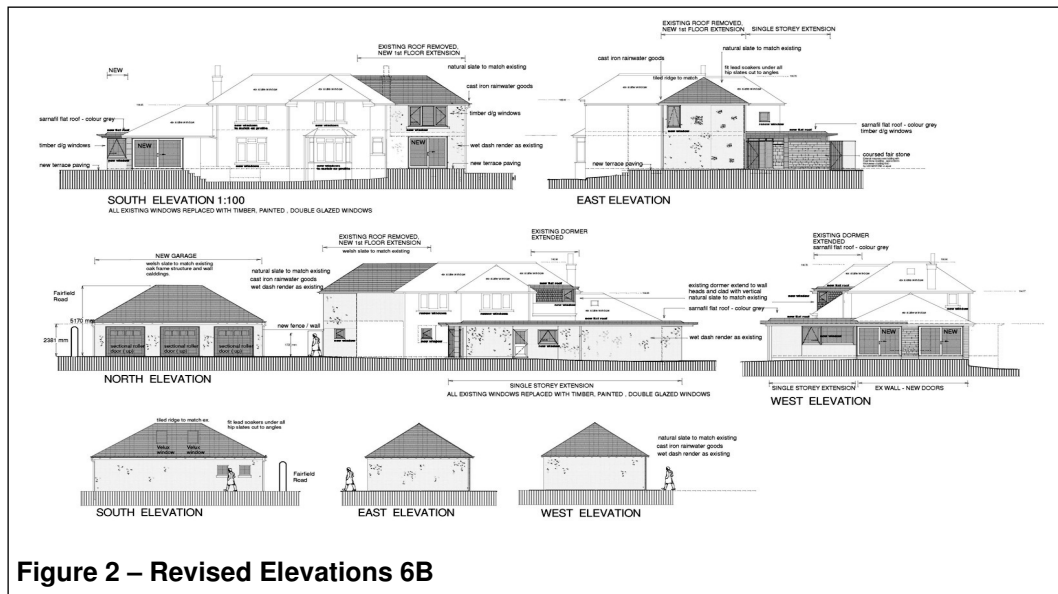


Figure 2 – Revised Elevations 6B

- 2.1 The application site is located to the west of Fairfield Road and north of Dundee Road on a large corner plot. It is a large detached two storey white painted wet dash render, arts and crafts style dwelling. There is a large garden to the front, east and west. A stone boundary wall surrounds the boundary with stone gate piers at the vehicle entrance. There is a timber fence to the west and north of the property. There is in-curtilage parking with a separate timber garage.

3 POLICY BACKGROUND

- 3.1 The following plans and policies are considered to be of direct relevance:

DUNDEE LOCAL DEVELOPMENT PLAN

Policy 10: Householder Development

Policy 50: Development in Conservation Areas

- 3.2 There are no other plans, policies and non-statutory statements that are considered to be of direct relevance.

4 SITE HISTORY

- 4.1 There is no relevant planning history.

5 PUBLIC PARTICIPATION

- 5.1 The Council has followed the statutory neighbour notification procedure and the application has been advertised in the Dundee Evening Telegraph.
- 5.2 No letters of objection or representation have been received.

6 CONSULTATIONS

- 6.1 **The Environment Department** – The Head of Environmental Protection advised that an informative should be attached to any consent relating to the wood burning stove, contamination and asbestos.
- 6.2 **Broughty Ferry Community Council** – The Community Council has objected to the proposed development on the grounds that the design of the proposed extensions will adversely impact on the traditional design and appearance of the existing building.

7 DETERMINING ISSUES

- 7.1 **Section 25 of the Act provides that an application for planning permission (other than for a national development) shall be determined in accordance with the development plan unless material considerations indicate otherwise.**

THE DEVELOPMENT PLAN

The provisions of the development plan relevant to the determination of this application are specified in the Policy Background section above.

DUNDEE LOCAL DEVELOPMENT PLAN

- 7.2 **Policy 10: Householder Development** – there are five criteria that all householder developments must adhere to in order to be supported. The development should:
- 1 not have a detrimental impact on the character or environmental quality of the house and the surrounding area by virtue of size, design and materials; and
 - 2 not result in a significant loss of private/useable garden ground; and
 - 3 not have a detrimental effect on the neighbouring properties in terms of physical impact, overshadowing or overlooking; and
 - 4 not have a significant adverse effect on the existing level of parking provision; and
 - 5 is consistent with all other policies of the Plan.
- 7.3 In terms of Criterion 1 the proposals will complement the existing house in terms of size, design and materials. The proposed works will not have a detrimental impact on the character or environmental quality of the house and the surrounding conservation area.
- 7.4 The finish of the proposed extensions, garage, gate piers and entrance gates will be controlled by condition to ensure that the visual amenity of the existing property and character of the surrounding conservation area is not diminished by the use of inappropriate materials.
- 7.5 Due to the size of the proposed extension it will not have a significant impact on the garden ground. Approximately 632m² of useable garden ground will remain after the proposed development is complete. Consequently, this proposal complies with Criterion 2.
- 7.6 In terms of Criterion 3 due to the location of the extension on the north east elevation of the dwelling and the distance away from the neighbouring properties there will be no impact on

neighbouring properties in terms of overbearing, overshadowing and overlooking. This proposal complies with Criterion 3.

- 7.7 In terms of Criterion 4 there will be parking for seven cars as a result of the proposed development. Consequently, this proposal complies with Criterion 4.
- 7.8 Finally, in terms of Criterion 5 the application is consistent with other policies in the Dundee Local Development Plan.
- 7.9 **It is concluded that the proposal is in accordance with Policy 10 of the Dundee Local Development Plan.**
- 7.10 **Policy 50: Development in Conservation Areas** - Policy 50 requires development proposals to preserve or enhance the character of conservation areas. The application site is situated within the West Ferry Conservation Area.
- 7.11 The proposed extension and alterations are respectful of the existing design and materials. The proposed works will not detract from the appearance and character found in this part of the West Ferry Conservation Area. A condition requiring details of the materials will be incorporated into the grant of planning permission. Therefore the proposal complies with the terms of this policy.
- 7.12 **It is concluded that the proposal is in accordance with Policy 50 of the Dundee Local Development Plan.**
- 7.13 **It is concluded from the foregoing that the proposal complies with the provisions of the Dundee Local Development Plan 2014.**

OTHER MATERIAL CONSIDERATIONS

The other material considerations to be taken into account are as follows:

A - VIEWS OF BROUGHTY FERRY COMMUNITY COUNCIL

- 7.14 Broughty Ferry Community Council has objected to the proposed development. The concerns raised relate to:
- 7.15 **Comment:** the large flat-roofed extension with incongruous artificial stone and large plate glass sliding windows will be an unattractive visible addition. Similar windows/doors will feature unattractively with the other modifications on the south elevation. Therefore the character and design of the original house and the character of the conservation area will not be respected. Another regrettable consequence of the proposal will be the removal of the eastern chimney stack.
- 7.16 **Response:** revised drawings have been submitted on 17 September 2015 which show the removal of artificial stone and instead the extensions will be rendered to match the existing dwelling. The main entrance area and a small panel between the sliding doors on the west elevation will be finished in natural stone.
- 7.17 The new windows will have a one over two glazing pattern to match the existing window design. The proposed large glass sliding windows are a contemporary addition that will complement the existing dwelling.
- 7.18 In terms of the loss of the chimney the proposed alterations and extension are sympathetic to the character and appearance of the original building and will serve to enhance the visual

amenity of the West Ferry Conservation Area. The loss of the existing chimney, while an original design feature of the existing building, will not adversely impact on the appearance of the application property or the surrounding streetscape.

7.19 **The concerns of the Community Council are not supported.**

7.20 **It is concluded from the foregoing that the material considerations outlined above are not of sufficient weight to justify the refusal of planning permission.**

8 CONCLUSION

8.1 The proposal satisfies the requirements of the Development Plan. There are no material considerations that would justify refusal of planning permission. Therefore, it is recommended that planning permission is granted subject to conditions.

9 RECOMMENDATION

9.1 It is recommended that consent be GRANTED subject to the following conditions:

- 1 Prior to the commencement of development on site details of the proposed finishing materials shall be submitted to and approved in writing by the Planning Authority. Thereafter, the proposed development shall be finished in accordance with the details of approved by this condition.
- 2 Details of the proposed alterations to the vehicle access must be agreed prior to any works on site and the access must be formed and constructed to Dundee City Council standards and specifications.

REASONS

- 1 In order to safeguard the visual amenity of the Conservation Area.
- 2 In the interests of vehicle and pedestrian safety.